

Public Works Committee Agenda

Tuesday April 25, 2023 - 7:00 AM

Town of Verona Hall, 7669 County Highway PD

1. Call to Order/Additions to Agenda/Approve Agenda
2. Action: Review Minutes of March 21, 2023
3. Discussion and Possible Action: Driveway Permit 7734 Dairy Ridge Road (**10 minutes**)
4. Discussion and Possible Action: Driveway Permit: 7562 County Highway PD (**10 minutes**)
5. Discussion and Possible Action: Driveway Permit: Lot 2 CSM 15184 Cross Country Road (phase 2) (**10 Minutes**)
6. Discussion and Possible Action: Driveway Access Permit: Country View Road Relocation (**20 minutes**)
7. Information: Madison Metropolitan Sewerage District Projects Update (**5 minutes**)
8. Discussion: Country View Road and County Highway PD widening/relocation (**10 Minutes**)
9. Development Updates: (**5 minutes**)
 - a. Marty Farms Redevelopment
10. Equipment Condition Update (**5 minutes**)
11. Schedule May Committee Meeting and set agenda items
12. Adjourn

To receive agendas and other announcements by email, use the "alert notifications" feature on the Town website at <http://www.town.verona.wi.us/>.

If anyone having a qualifying disability as defined by the American With Disabilities Act, needs an interpreter, materials in alternate formats or other accommodations to access these meetings, please contact the Town of Verona Clerk's office @ 608-845-7187 or twitheer@town.verona.wi.us. Please do so at least 48 hours prior to the meeting so that proper arrangements can be made.

Notice is also given of a possible quorum of the Plan Commission and /or the Town of Verona Board could occur at this meeting for the purposes of gathering information only.

Public Works Committee Minutes

Tuesday March 21, 2023 - 7:00 AM

Town of Verona Hall, 7669 County Highway PD

Present: Mike Duerst - Chair, Manfred Enburg, Russ Swiggum, Brett Lindell (late)

Absent: John Senseman

Also Present: Christopher Barnes - Public Works Director, Mark Judd - Patrolman

Public Present: None

1. **Call to Order/Additions to Agenda/Approve Agenda** - Chair Duerst called the meeting to order at 7:02 AM. Duerst asked for additions and approval of the agenda. Enburg moved to accept the agenda, seconded by Swiggum, motion carried.
2. **Action: Review Minutes of February 21, 2023** - The minutes were reviewed by the committee. Swiggum moved to approve the February minutes as submitted, second by Enburg, motion carried.
3. **Discussion and Possible Action: 2023 Road Improvement Program Bids:** Duerst introduced the road bids received. Duerst stated that he thought the low bid by Wolf Paving in the amount of \$298,459.55 was a good proposal. Barnes explained that the bid prices were very competitive. Swiggum mentioned that Wolf Paving is now owned by Rock Road Construction. Barnes explained that the as-bid project is approximately \$73,000 under budget and suggested adding paving Jeffy Trail and chip sealing Dairy Ridge Road to the project. Other options include Flint Lane and the south end of Range Trail. The consensus of the committee was to add Jeffy Tail and Dairy Ridge and request pricing from Wolf Paving for the work. Duerst asked about the status of Country View Road. Barnes discussed the closure of Country View Road for the current Epic building expansion. Lindell moved to recommend the amended road project to the Town Board for award. Second by Enburg, motion carried.
4. **Discussion and Possible Action: 2015 Ford Patrol Truck Replacement Recommendation:** Duerst opened discussion and reviewed the bids received for the truck. Duerst questioned why the equipment prices were slightly different. Judd stated that the dealers have different mark up on the requested options. Barnes stated that he had contacted Costco regarding truck vehicle purchase and found that Costco did not deal in commercial type vehicles. Barnes stated that the quote from Madison Truck was an estimate for the equipment, plow, and dump box necessary on the complete truck. Lindell asked about the resale of the 2015 truck. Barnes stated that it would go to the Wisconsin Auction, and Swiggum stated he thought it would bring in around \$40,000. Lindell moved to recommend the purchase of a 2023 Ford F-550 along with the necessary equipment from Madison Truck to the Town Board. Second by Swiggum, motion carried.
5. **Discussion and Possible Action: Driveway Permit Lot 2 CSM 14812 County Highway M:** Duerst introduced the item and asked Barnes to explain. Barnes stated that the existing driveway on County Highway M will be used, but an extension of the driveway will be needed for the new home. The fire department reviewed the application and approved the new driveway with a turn around and an additional fire number. Motion by Swiggum to approve the driveway, second by Enburg, motion carried.
6. **Discussion and Possible Action: Driveway Permit Grandview Partners/MMSD Grandview Road:** Duerst opened the discussion for the construction of a field access and farm road. Barnes stated that the

driveway would be built for the construction of the new Madison Metropolitan Sewerage District force main, and the driveway would remain for the property owner, Grandview Partners. Barnes stated that the Fire Department is fine with the plan. Barnes explained that the proposed driveway is adjacent to an existing field access to the west of the proposed driveway. Barnes suggested that two driveways be combined into one field access point. The existing driveway on the property to the west is quite small and does not have a culvert. Enburg asked if the new field road would be gravel and if it would be gated. Barnes replied the farm road would be gravel. Enburg was concerned about the open access to the property. Duerst suggested that the driveway be gated if any issues arise with trespassing. Enburg made a motion to approve the driveway subject to providing a design to show a shared access with the field access to the west. Second by Swiggum, motion carried.

7. **Discussion and Possible Action: Recycling and Trash Cart Replacement Recommendation:** Barnes explained that the Town inventory of roll off carts is approximately 6 trash and 13 recycle carts. Barnes stated that the options for cart replacement could have the vendor, Pellitteri, supply new carts, or the Town could continue to purchase carts and sell them directly to residents. Swiggum asked if Pellitteri would leave carts in the town if they supplied carts and were not awarded a new collection contract. Discussion followed. The proposal submitted is for 180 total carts. Barnes stated the town was selling about 20 trash carts and 10 recycling carts a year. Enburg stated that he was in favor of using the same cart vendor so the carts matched and the replacement parts were compatible. Discussion followed. Swiggum asked about the lifespan of the carts. Judd stated that some carts are still in service from the original cart purchase in 2008. Barnes stated that the Town staff has tried to reuse used carts for residents, but once the carts are damaged, the customers must purchase new carts at \$75.00 each. Enburg moved to recommend purchase of 180 carts, second by Lindell, motion carried.
8. **Discussion: Solar Panel Acquisition and Installation on Town Property:** Duerst stated that a meeting was scheduled for 7:00 PM on March 21, 2023 at the Town Community Room sponsored by the Natural and Recreation Areas committee (NRAC) to discuss environmental and energy-saving issues. Duerst stated that there was some interest in placing solar panels on the Public Works garage building. Duerst asked for a recommendation from the committee considering panel installation. Barnes suggested that ground solar units may be a better option considering the roof orientation. Enburg had questions about solar panels for lifespan, clearing, and durability. Discussion followed. Lindell discussed several options he was aware of for financing and payback. Enburg suggested that it would be better to wait and see what new technology might be available and that the Town had not established any funds to pay for solar panels. Enburg recommended that the Town Board look at other methods and sources to reduce energy consumption by the Town.
9. **Information: Madison Metropolitan Sewerage District Projects Update:** Barnes stated that the Pump Station 17 and Relief Sewer project was nearing the final design and that the wetlands permitting was underway. MMSD and the Town were finalizing an agreement for combined work on the Town sewer system. Barnes stated that about 600 feet of the Town sewer can be eliminated and redirected to the new MMSD line. Barnes did not have an update on the lower Badger Mill Sanitary Sewer Extension project to Mid-Town Road.
10. **Discussion: Country View Road and County Highway PD widening/relocation:** Barnes stated that he expected construction to begin in early April on the road project from Country View to Shady Oak Lane. Currently, work is underway on the south side of County Highway PD to install underground fiber, electric, and telecom utility conduits. The depth of rock requires substantial blasting. Barnes expected that the utilities would cross Country View Road the weekend of March 25. The final plans have been approved by

Dane County Highway Department. Barnes expected that the County View Road relocation would come to the committee in April for consideration.

11. Development Updates:

- a. Marty Farms Redevelopment (Arden Glen) - no update
- b. Dairy Ridge Heights - no update

12. Equipment Condition Update

- a. Mower: Barnes stated that the mower sold at auction for \$3,450.00
- b. Trailer: Judd stated that he was interested in selling the current trailer as it had not been used in at least 5 years and takes up usable space in the cold storage. Swiggum stated that he would look at the trailer for value and he might know a potential buyer.

13. Schedule next Committee Meeting and set agenda items: The April meeting was set for April 25 at 7:00 AM.

14. Adjourn - Motion by Swiggum, second by Enburg to adjourn at 8:20 AM. The meeting was adjourned.

Approved: April 25, 2023

Prepared By: W. Christopher Barnes

Town of Verona
 Driveway Review Checklist
 Location: 7734 Dairy Ridge Road



Date 14-Apr-23
 By W. Christopher Barnes

	Yes	No	Comments
Driveway Drawing and Soil Erosion Control Plan	x		
Site Visit Completed	x		
Fee Paid	x		
Fee Escrow deposited		x	pending approval
Location Sight Distance > 350 feet	x		existing
Length > 100 feet Verona Fire Dept. Review		x	existing
Driveway > 500 feet Passing lane		x	
Driveway > 100 feet Hammerhead		x	
Cleared Path > 22 feet	x		
Driveway Grade < 12%	x		
Driveway width at Road < 26 feet	x		
Culvert Required		x	
Length (24 feet min)	x		
Diameter (15" min)			NA
Flared End walls			NA
Variances requested		x	



Town of Verona
APPLICATION FOR ACCESS/DRIVEWAY
CONSTRUCTION PERMIT

This permit is required and shall be issued in accordance with the provisions the Town of Verona Ordinance 2014-04.

APPLICANT/OWNER INFORMATION			
Name Epic Systems		Contact Name Bernie Coughlin	
Address 7734 Dairy Ridge Road		City Verona	
Office Phone (608) 271-9000		Alternate Phone	
Permit Mailing Address (if different from above) 1979 Milky Way		City Verona	
		State WI	
		Zip Code 53593	
CONTRACTOR INFORMATION (see instructions)			
Company Name JP Cullen		Contact Name Cory Huschka	
Office Phone (608) 754-6601		After Hours Phone (Required) (608) 751-7356	
		E-Mail Address cory.huschka@jpcullen.com	
		Fax Number	
PROPOSED WORK			
Town Road where work will occur/about Dairy Ridge Road		Parcel number/ address 060818489300 / 7734	
Will driveway be over 100' long? <input type="checkbox"/> Yes (Requires Fire Dept approval) <input checked="" type="checkbox"/> No		Driveway plan attached? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Estimated Start Date 4-15-23		Estimated Ending Date 6-15-23	
		Culvert with End Walls (15" minimum)? N/A <input type="checkbox"/> Yes <input type="checkbox"/> No	
		Maximum Grade <12%? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
		Min width 12'? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
		Road Ownership <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	

Once an application is approved, an escrow deposit may be required before the permit is issued.
Note: Driveways that access private roads do not require an escrow deposit.

Residential/Temporary Construction Access/Paved Agricultural Drive Escrow Deposits: \$1,000
Industrial or Commercial Escrow Deposits: \$1,500

a. Application Fee	_____	@ \$250	_____
b. Application Fee for an Improvement to Existing Drive or Culvert Replacement ONLY	1	@ \$100	\$100
TOTAL FEES			\$100

Check or money order payable to the Town of Verona in the amount of "Total Fees" indicated above is enclosed.

Applicant acknowledges that (s)he has read and understand the requirements for obtaining a permit to work in the Town of Verona road right-of-way. By signing this application, applicant agrees that the Town of Verona may establish additional provisions prior to application approval. Applicants shall receive notification of any special provisions.

Applicant further understands and agrees that the permitted work shall comply with all permit provisions and conditions listed on the issued permit, any special provisions, and any and all plans, details or notes attached hereto and made a part hereof. Property owner is responsible for notifying the Town of Verona of any conditions and/or restrictions.

By
Signature of Applicant/Landowner
Bernie Coughlin
Print Name

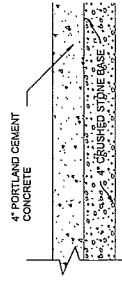
03/31/23
Date
608-271-9000
Phone

PROJECT LEGEND

- 3.5 INCH HOT MIXED ASPHALT (180 SF)
- PROPOSED CONCRETE SURFACE
- EXISTING GRAVEL SURFACE
- FINE GRADE TOPSOIL, FERTILIZER, AND SEED WITH FINE FESCUE (~ 200 SF)

KEYNOTES

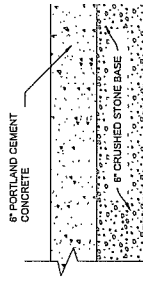
- ① ASPHALT PAVEMENT
- ② CONCRETE SLAB/PAVEMENT



*NOTE:
CRUSHED AGGREGATE SHALL COMPLY WITH WESDOT STANDARD SF
- DENSE 'X' - 4 INCHES
- CRUSHED STONE BASE

TYPICAL SECTION CONCRETE SIDEWALK

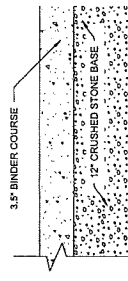
NOT TO SCALE



*NOTE:
CRUSHED AGGREGATE SHALL COMPLY WITH WESDOT STANDARD SF
- DENSE 'X' - TOP 2 INCHES
- CRUSHED STONE BOTTOM 4 INCHES

TYPICAL SECTION CONCRETE DRIVEWAY

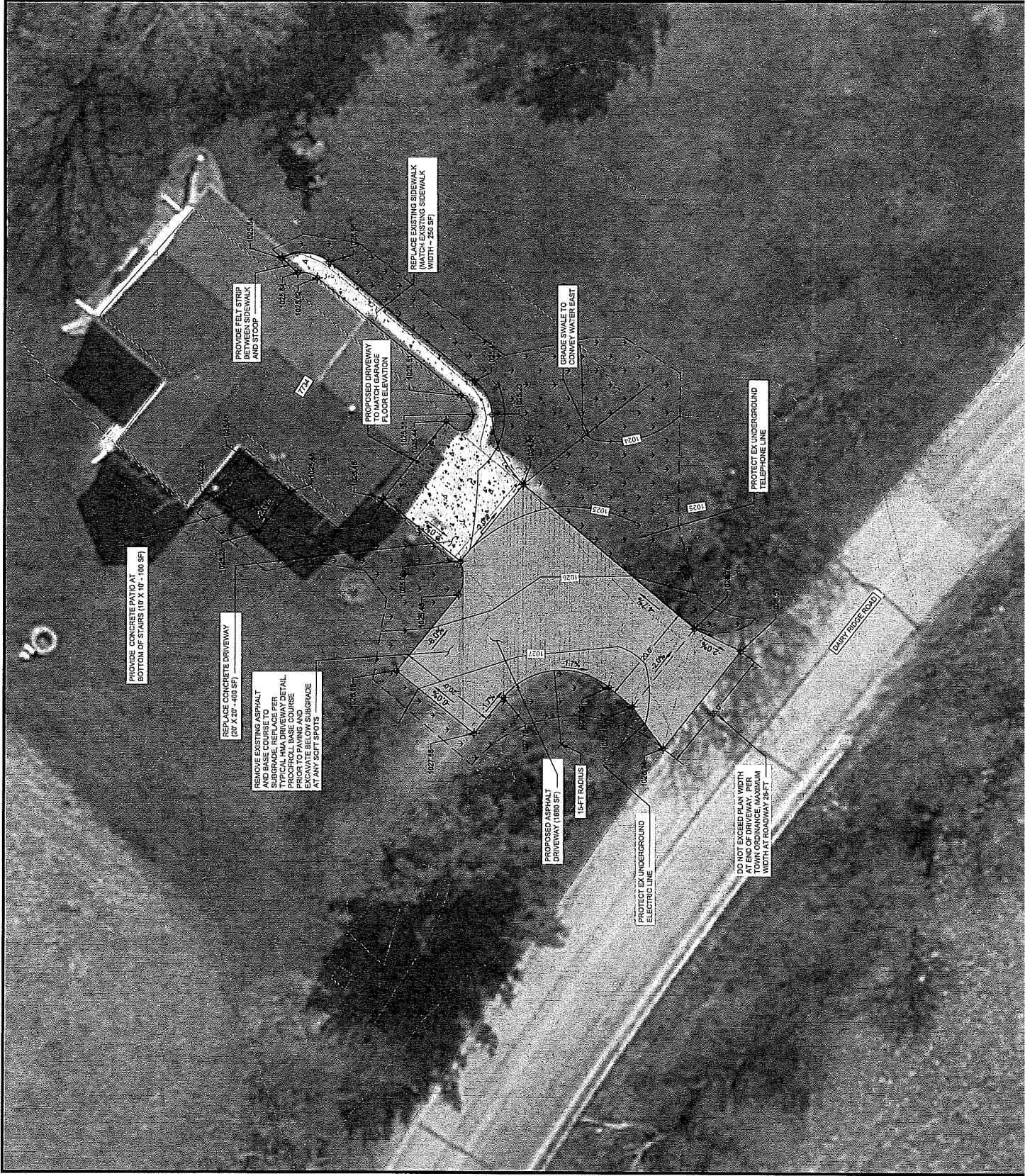
NOT TO SCALE



*NOTE:
CRUSHED AGGREGATE SHALL COMPLY WITH WESDOT STANDARD SF
- DENSE 'X' - TOP 2 INCHES
- OPEN GRADE CRUSHED STONE - LOWER BANDS OF BASE

TYPICAL SECTION HMA DRIVEWAY

NOT TO SCALE



PROVIDE CONCRETE PATIO AT BOTTOM OF STAIRS (10' X 10' - 100 SF)

REPLACE CONCRETE DRIVEWAY (20' X 20' - 400 SF)

REMOVE EXISTING ASPHALT AND BASE COURSE TO SUBGRADE. REPLACE PER SPECIFICATIONS. INSTALL PROOFROLL BASE COURSE PRIOR TO PAVING AND EXCAVATE BELOW SUBGRADE AT ALL 90° CORNERS

PROPOSED DRIVEWAY TO MATCH GARAGE FLOOR ELEVATION

REPLACE EXISTING SIDEWALK (MATCH EXISTING SIDEWALK WIDTH - 250 SF)

PROPOSED ASPHALT DRIVEWAY (180 SF)

15-FT RADIUS

PROTECT EX UNDERGROUND ELECTRIC LINE

DO NOT EXCEED PLAY WIDTH PER LOCAL OR STATE TOWN ORDINANCE. MAXIMUM WIDTH AT ROADWAY 28-FT

PROTECT EX UNDERGROUND TELEPHONE LINE

GRADE SWALE TO CONVEY WATER EAST

DRIVEWAY (ROAD)

Town of Verona
 Driveway Review Checklist
 Location: 7562 CTH PD



Date 14-Apr-23
 By W. Christopher Barnes

	Yes	No	Comments
Driveway Drawing and Soil Erosion Control Plan	x		
Site Visit Completed	x		
Fee Paid	x		
Fee Escrow deposited		x	pending approval
Location Sight Distance>350 feet	x		existing
Length>100 feet Verona Fire Dept. Review		x	existing
Driveway>500 feet Passing lane		x	
Driveway>100 feet Hammerhead		x	
Cleared Path > 22 feet	x		
Driveway Grade <12%	x		
Driveway width at Road<26 feet	x		
Culvert Required		x	
Length (24 feet min)	x		
Diameter (15" min)			NA
Flared End walls			NA
Variances requested		x	



Town of Verona
APPLICATION FOR ACCESS/DRIVEWAY
CONSTRUCTION PERMIT

This permit is required and shall be issued in accordance with the provisions the Town of Verona Ordinance 2014-04.

APPLICANT/OWNER INFORMATION			
Name Marvin and Dixie Schwenn		Contact Name	
Address 7562 County Highway PD		E-Mail Address Schwenn1@tds.net	
Office Phone		City Verona	State WI
Permit Mailing Address (if different from above)		Alternate Phone	Zip Code 53593
		Fax Number	
		City	State
		Zip Code	
CONTRACTOR INFORMATION (see instructions)			
Company Name JP Cullen		Contact Name Cory Huschka	
Office Phone (608) 754-6601		E-Mail Address cory.huschka@jpcullen.com	
		After Hours Phone (Required) (608) 751-7356	Fax Number
PROPOSED WORK			
Town Road where work will occur/about CTH PD		Parcel number/ address 060808260110 / 7562	
Will driveway be over 100' long? <input checked="" type="checkbox"/> Yes (Requires Fire Dept approval) <input type="checkbox"/> No		Driveway plan attached? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Estimated Start Date 4/30/23		Estimated Ending Date 5/30/23	
Culvert with End Walls (15" minimum)? N/A <input type="checkbox"/> Yes <input type="checkbox"/> No		Maximum Grade <12%? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
		Min width 12'? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
		Road Ownership <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	

Once an application is approved, an escrow deposit may be required before the permit is issued.
Note: Driveways that access private roads do not require an escrow deposit.

Residential/Temporary Construction Access/Paved Agricultural Drive Escrow Deposits: \$1,000
Industrial or Commercial Escrow Deposits: \$1,500

a. Application Fee	_____ @ \$250	_____
b. Application Fee for an Improvement to Existing Drive or Culvert Replacement ONLY	_____ 1 @ \$100	_____ \$100
TOTAL FEES		\$100

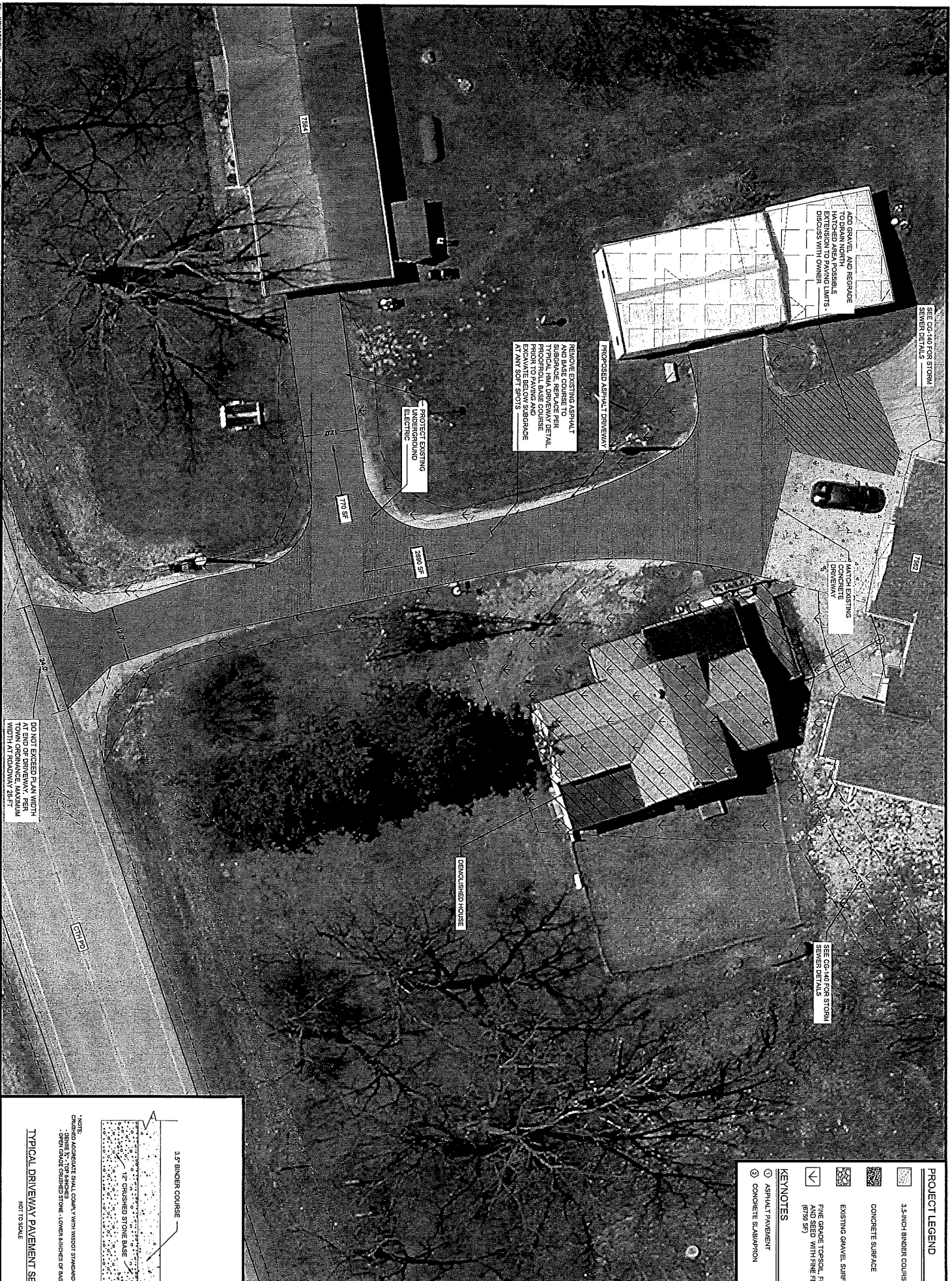
Check or money order payable to the Town of Verona in the amount of "Total Fees" indicated above is enclosed.

Applicant acknowledges that (s)he has read and understand the requirements for obtaining a permit to work in the Town of Verona road right-of-way. By signing this application, applicant agrees that the Town of Verona may establish additional provisions prior to application approval. Applicants shall receive notification of any special provisions.

Applicant further understands and agrees that the permitted work shall comply with all permit provisions and conditions listed on the issued permit, any special provisions, and any and all plans, details or notes attached hereto and made a part hereof. Property owner is responsible for notifying the Town of Verona of any conditions and/or restrictions.

By Dixie L. Schwenn
Signature of Applicant / Landowner
Dixie L. Schwenn
Print Name

4-4-2023
Date
608 279-7359
Phone

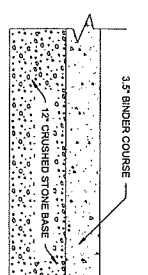


PROJECT LEGEND

	3.5-INCH BINDER COURSE
	CONCRETE SURFACE
	EXISTING GRAVEL SURF
	FINE GRADE TOPSOIL, RE SED WITH FINE FE (679 SF)

KEYNOTES

- ASPHALT PAVEMENT
- CONCRETE SUBPARION



TYPICAL DRIVEWAY PAVEMENT SE

NOTE:
- 3/4" AGGREGATE SAND COVER WITH 1/2" BINDER COURSE
- 3/4" BINDER COURSE
- 12" CRUSHED STONE - LOWER LAYER OF OLD
NOT TO SCALE

REMOVE EXISTING ASPHALT SUBGRADE, REPLACE PER TYPICAL HMA DRIVEWAY DETAIL FROM TOPO, BASE COURSE EXCAVATE BELOW SUBGRADE AT ANY SOFT SPOTS

PROPOSED ASPHALT DRIVEWAY

PROTECT EXISTING UNDERGROUND UTILITY

SEE GC-140 FOR STORM SEWER DETAILS

SEE GC-140 FOR STORM SEWER DETAILS

MATCH EXISTING CONCRETE DRIVEWAY

DEMOLISHED HOUSE

DO NOT EXCEED PLANK WIDTH AT END OF DRIVEWAY, PER TOWN ORDINANCE, MAXIMUM WIDTH AT ROADWAY: 28'-1"

Town of Verona
 Driveway Review Checklist
 Location: Lot 2 CSM 15184 (Cross Country Road)



Date 18-Apr-23
 By W. Christopher Barnes

	Yes	No	Comments
Driveway Drawing and Soil Erosion Control Plan	x		
Site Visit Completed	x		
Fee Paid	x		
Fee Escrow deposited		x	pending approval
Location Sight Distance > 350 feet	x		existing
Length > 100 feet Verona Fire Dept. Review	x		EMS Signs are required at the road and the split
Driveway > 500 feet Passing lane		x	
Driveway > 100 feet Hammerhead		x	
Cleared Path > 22 feet	x		
Driveway Grade < 12%	x		
Driveway width at Road < 26 feet			NA Existing
Culvert Required		x	
Length (24 feet min)			NA
Diameter (15" min)			NA
Flared End walls			NA
Variances requested		x	



Town of Verona
APPLICATION FOR ACCESS/DRIVEWAY
CONSTRUCTION PERMIT

This permit is required and shall be issued in accordance with the provisions the Town of Verona Ordinance 2014-04.

APPLICANT/OWNER INFORMATION			
Name Premier Builders Inc.	Contact Name Jeanette Acker	E-Mail Address jeanette@premierbuildersinc.com	
Address 102 N Holiday Drive	City Waunakee WI 53597	State WI	Zip Code 53597
Office Phone 608-849-6770	Alternate Phone 608-576-7240	Fax Number 608-849-6771	
Permit Mailing Address (if different from above)	City	State	Zip Code
CONTRACTOR INFORMATION (see instructions)			
Company Name Premier Builders Inc.	Contact Name Jeanette Acker	E-Mail Address jeanette@premierbuildersinc.com	
Office Phone 608-849-6770q	After Hours Phone (Required) 608-576-7240	Fax Number 608-849-6771	
PROPOSED WORK			
Town Road where work will occur/about Cross Country Road		Parcel number/ address Lot 2 CSM 15184 0608-142-8625-0	
Will driveway be over 100' long? <input checked="" type="checkbox"/> Yes (Requires Fire Dept approval) <input type="checkbox"/> No	Driveway plan attached? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Maximum Grade <12%? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Min width 12'? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Estimated Start Date 5/1/2023	Estimated Ending Date 10/30/2023	Culvert with End Walls (15" minimum)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Road Ownership <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private

Once an application is approved, an escrow deposit may be required before the permit is issued.
Note: Driveways that access private roads do not require an escrow deposit.

Residential/Temporary Construction Access/Paved Agricultural Drive Escrow Deposits: \$1,000
Industrial or Commercial Escrow Deposits: \$1,500

a. Application Fee	1	@ \$250	250.00
b. Application Fee for an Improvement to Existing Drive or Culvert Replacement ONLY		@ \$100	
TOTAL FEES			250.00

Check or money order payable to the Town of Verona in the amount of "Total Fees" indicated above is enclosed.

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Applicant further understands and agrees that the permitted work shall comply with all permit provisions and conditions listed on the issued permit, any special provisions, and any and all plans, details or notes attached hereto and made a part hereof. Property owner is responsible for notifying the Town of Verona of any conditions and/or restrictions.

By Jeanette Acker
Signature of Applicant / Landowner

Jeanette Acker Premier Builders Inc.
Print Name

4/17/2023
Date

608-576-7240
Phone

SITE PLAN

LOT 2, CSM NO. 15184; LOCATED IN THE
 NW 1/4 OF THE NW 1/4, SECTION 14, T6N, R8E,
 TOWN OF VERONA, DANE COUNTY, WISCONSIN

CROSS COUNTRY ROAD

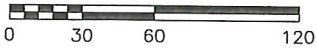
N89°20'32"W 66.00'

LEGEND

- 3/4" IRON RE-BAR (FOUND)
- - - - SET BACK LINE
- x 902.5 EXISTING SPOT ELEVATION
- ⊙ 102.2 PROPOSED SPOT ELEVATION
- [102.2] TOP OF FOUNDATION WALL

SCALE

1" = 60'



BASIS OF BEARINGS

THE EAST LINE OF LOT 2 IS
 RECORDED TO BEAR N00°20'01"W.



LOT 1 CSM NO 15184



BUILDER
 PREMIER BUILDERS
 Kevin Acker
 102 N. Holiday Drive
 Waunakee, WI 53597

SURVEYOR
 PAULSON & ASSOCIATES, LLC
 Daniel A. Paulson
 136 W. Holum Street
 DeForest, WI 53532

N89°20'29"W 261.91'

LANDS BY DANE COUNTY

S00°24'52"E 317.52'

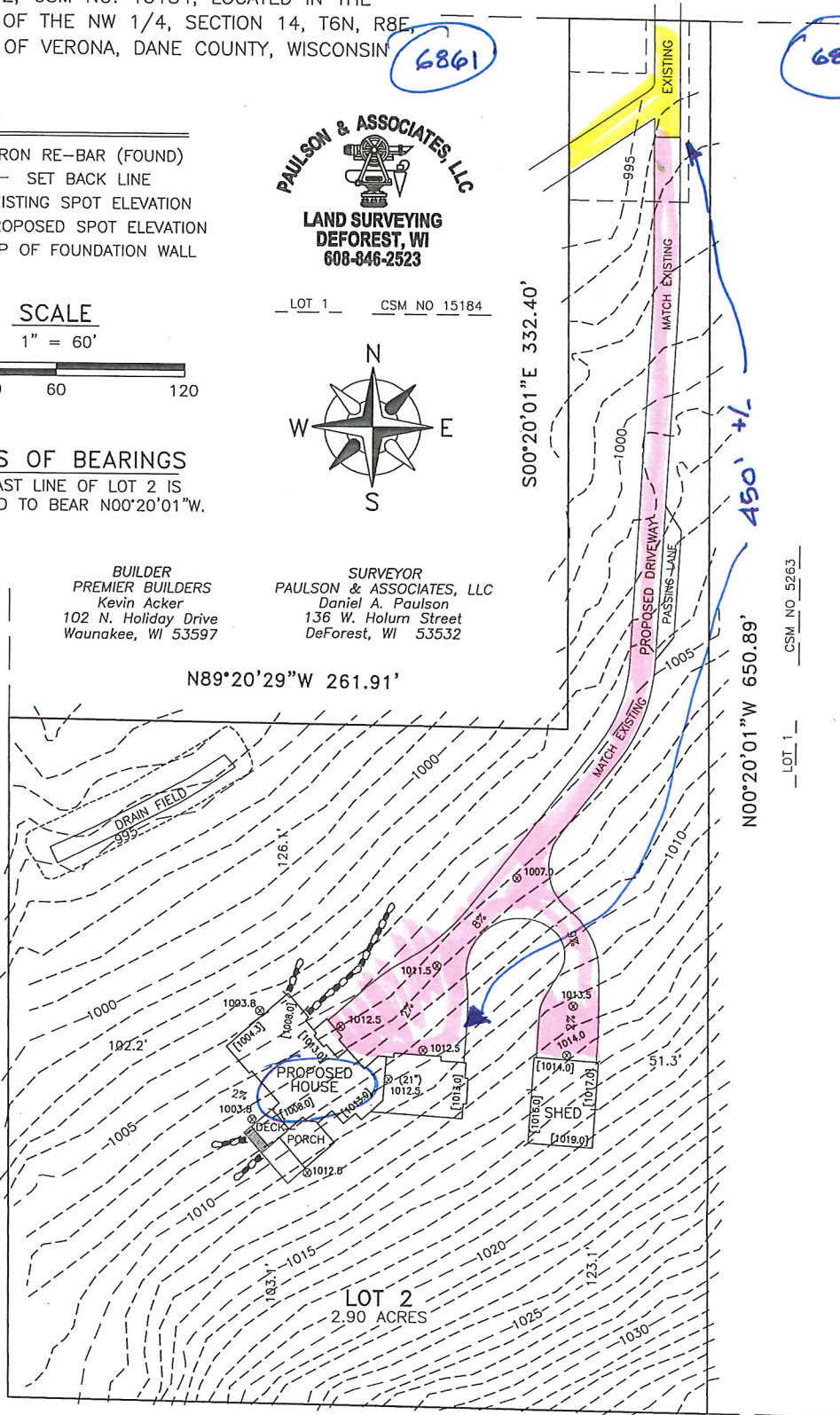
S00°20'01"E 332.40'

N00°20'01"W 650.89'

CSM NO 5263

LOT 1

CONTOURS AS PER DANE COUNTY MAPPING (SCALED)
 THIS SITE PLAN IS NOT A PROPERTY SURVEY AND DOES NOT COMPLY WITH THE MINIMUM STANDARDS OF
 OF A PROPERTY SURVEY AS SPECIFIED IN CHAPTER AE-7 OF THE WISCONSIN ADMINISTRATIVE CODE.
 THIS SITE PLAN WAS PREPARED AT THE DIRECTION OF THE CLIENT/BUILDER.
 ANY MODIFICATIONS TO THIS SITE PLAN MUST BE APPROVED BY THE CLIENT/BUILDER.



S89°10'14"E 327.47'

LANDS BY DANE COUNTY



Town of Verona
APPLICATION FOR ACCESS/DRIVEWAY
CONSTRUCTION PERMIT

This permit is required and shall be issued in accordance with the provisions the Town of Verona Ordinance 2014-04.

APPLICANT/OWNER INFORMATION					
Name City of Verona		Contact Name Theran Jacobson		E-Mail Address theran.jacobson@ci.verona.wi.us	
Address 410 Investment Court		City Verona		State WI	Zip Code 53593
Office Phone (608) 848-6801		Alternate Phone (608) 516-2781		Fax Number	
Permit Mailing Address (if different from above)		City		State	Zip Code
CONTRACTOR INFORMATION (see instructions)					
Company Name JP Cullen		Contact Name Cory Huschka		E-Mail Address cory.huschka@jpcullen.com	
Office Phone (608) 754-6601		After Hours Phone (Required) (608) 751-7356		Fax Number	
PROPOSED WORK					
Town Road where work will occur/about Country View Road / Realignment			Parcel number/ address CTH PD to 2999 Country View Rd		
Will driveway be over 100' long? <input type="checkbox"/> Yes (Requires Fire Dept approval) <input checked="" type="checkbox"/> No		Driveway plan attached? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Maximum Grade <12%? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Min width 12'? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Estimated Start Date April 2023	Estimated Ending Date November 2023	Culvert with End Walls (15" minimum)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Road Ownership <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	

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Industrial or Commercial Escrow Deposits: \$1,500

a. Application Fee	1	@ \$250	\$250	
b. Application Fee for an Improvement to Existing Drive or Culvert Replacement ONLY		@ \$100		
TOTAL FEES			\$250	

Check or money order payable to the Town of Verona in the amount of "Total Fees" indicated above is enclosed.

Applicant acknowledges that (s)he has read and understand the requirements for obtaining a permit to work in the Town of Verona road right-of-way. By signing this application, applicant agrees that the Town of Verona may establish additional provisions prior to application approval. Applicants shall receive notification of any special provisions.

Applicant further understands and agrees that the permitted work shall comply with all permit provisions and conditions listed on the issued permit, any special provisions, and any and all plans, details or notes attached hereto and made a part hereof. Property owner is responsible for notifying the Town of Verona of any conditions and/or restrictions.

By _____
Signature of Applicant / Landowner
Theran Jacobson - Verona D.P.W.
Print Name

3-19-2023

Date
608-845-6695

Phone

TOWN OF VERONA

TO: Public Works Committee

DATE: April 21, 2023

FROM: W. Christopher Barnes, Public Works Director

SUBJECT: Country View Road Relocation (Northern Section)

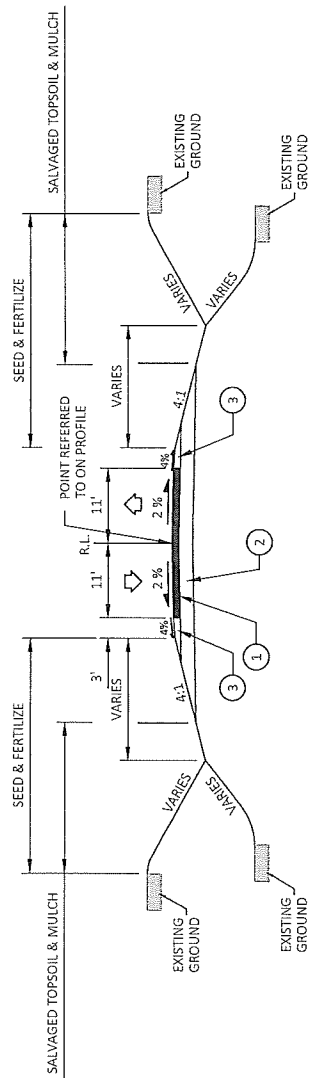
As the Committee is aware, work has been ongoing for the reconstruction and widening of County Highway PD in conjunction with the expansion of the Epic Corporation campus. As part of the overall improvements, the City of Verona, in conjunction with the Epic Corporation, have proposed the realignment and reconstruction of the northern section of Country View Road. The realignment consists of shifting the existing intersection to the east by approximately 1000 feet and installing an actuated traffic signal at the new intersection. The relocated Country View Road will have an entrance to the Epic Corporation parking field currently under construction.

The attached construction drawings show the connection point to the existing Country View Road to be approximately 1,150 feet south of the current intersection with County Highway PD. The new section of Country View Road is planned to be a 4-lane boulevard section with a curbed median and a rural uncurbed outer lane with a ditch section. There are no plans to install street lighting at this time.

The newly relocated road is located on property owned by the Epic Corporation, and the current intersection is located in the Town of Verona. It is planned that the new construction will be maintained and owned by the City of Verona. Future plans propose an extension of Country View Road to the west of the existing roadway and looping in to reconnect to Country View Road near the current Town/City boundary north of Milky Way. This future extension is in the conceptual stage at this time, and a timeframe for construction has not been established. The existing pavement of Country View Road north of the new connection point is scheduled to be removed and restored to turf. A plan to abandon the Town right-of-way in this area has not been established at this time.

Since the connection point of the new roadway lies within the Town of Verona right-of-way, the Committee has jurisdiction on "access" for the new Country View Road alignment. The attached plans have been reviewed by Dane County and Town staff and found to be acceptable for the realignment and relocation of Country View Road. Please let me know if you should have any questions.

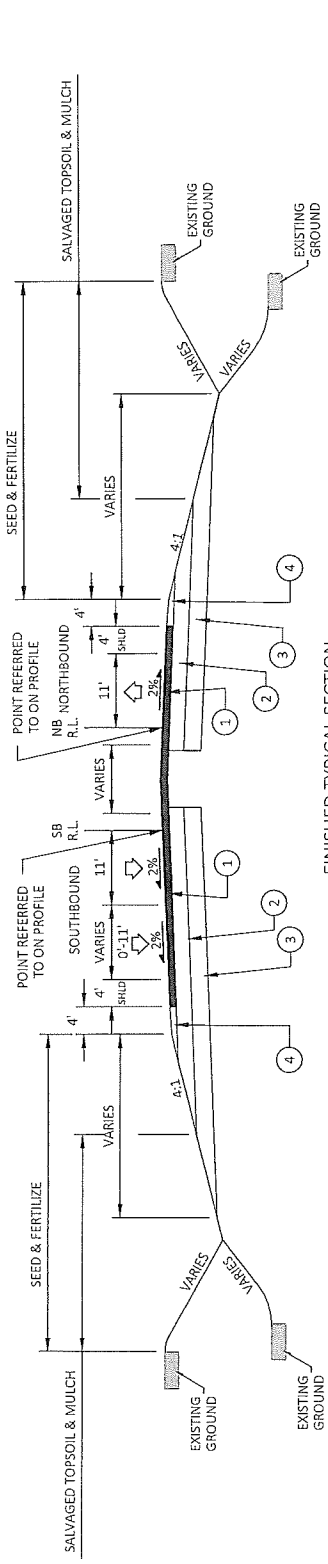
Attachments



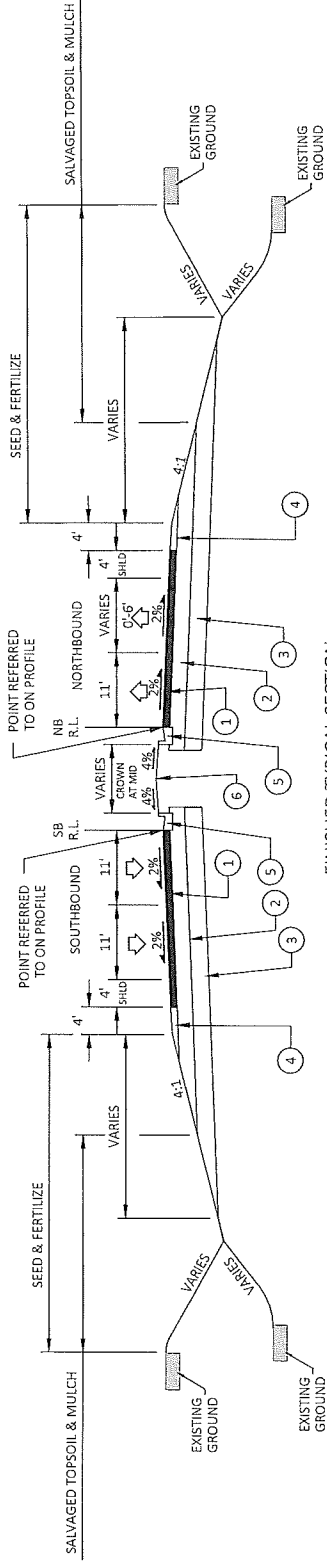
TYPICAL FINISHED SECTION
 STA 201+30'CVNB - 202+62'CVNB'

LEGEND

- ① 5.5-INCHES TYPE E-3 ASPHALT, 2.0-INCHES SURFACE OVER 3.5-INCHES BINDER
- ② 6-INCHES BASE AGGREGATE DENSE 1 1/4-INCH OVER 8-INCHES BASE AGGREGATE DENSE 3-INCH
- ③ 5.5-INCHES BASE AGGREGATE DENSE 3/4-INCH



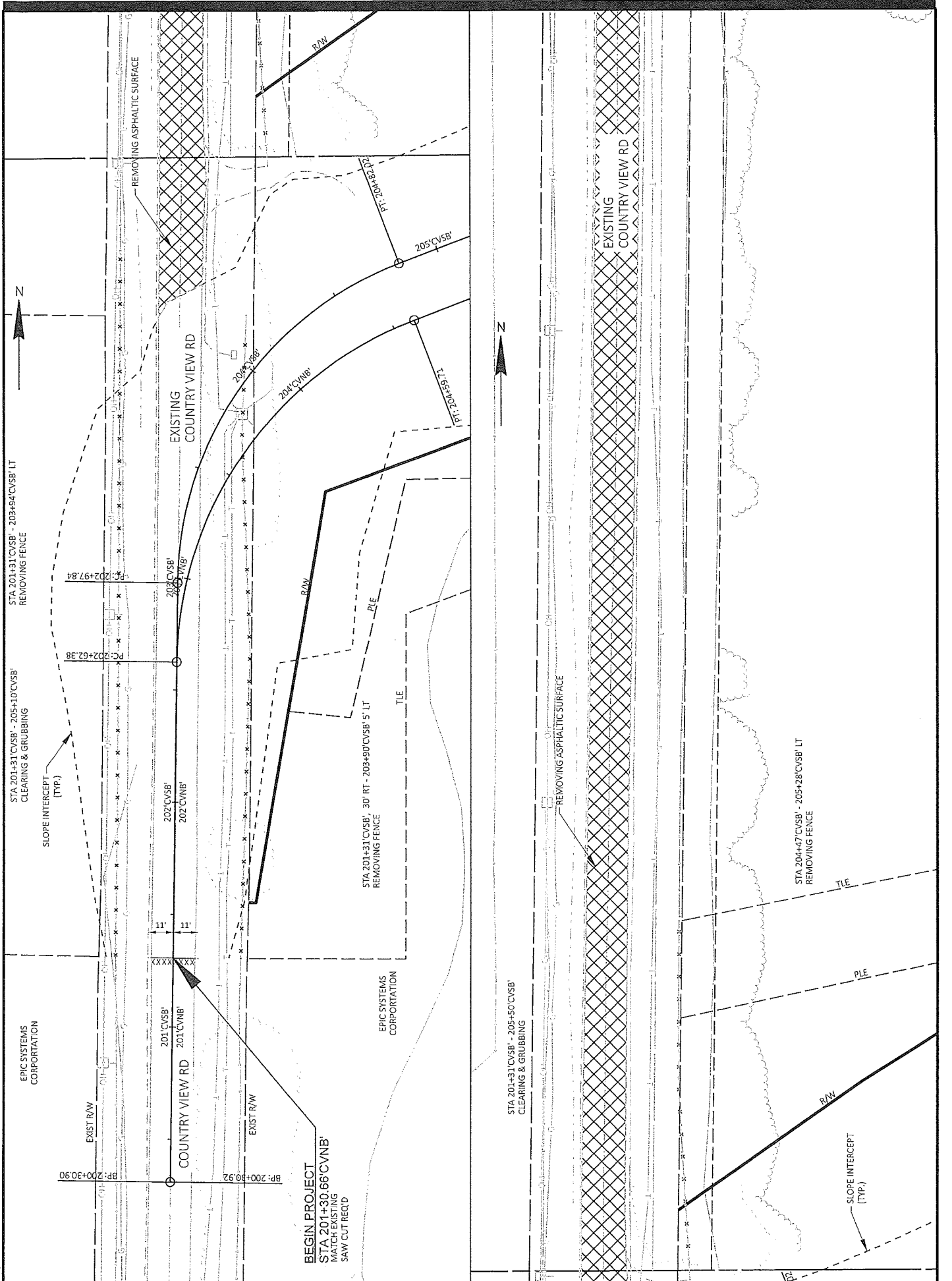
FINISHED TYPICAL SECTION
 STA. 202+62 CVNB - STA. 204+67 CVNB

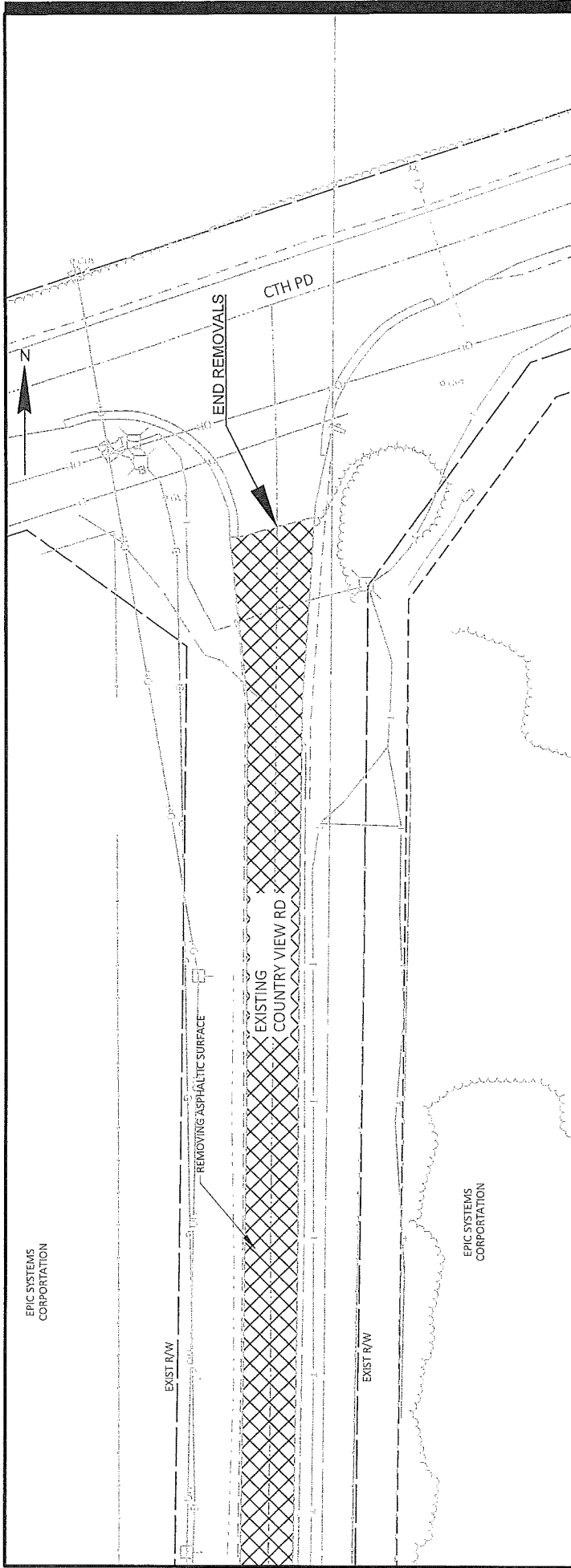


FINISHED TYPICAL SECTION
 STA. 204+67 CVNB - STA. 207+61 CVNB

LEGEND

- 1 5.5-INCHES TOTAL, 2.0-INCHES 4MT OVER 3.5-INCHES 3MT
- 2 6-INCHES BASE AGGREGATE DENSE 1 1/2-INCH OVER 8 INCHES BASE AGGREGATE DENSE 3-INCH
- 3 SELECT CRUSHED MATERIAL
- 4 5.5-INCHES BASE AGGREGATE DENSE 3/4-INCH
- 5 24-INCH ACCEPT CURB AND GUTTER
- 6 CONCRETE SIDEWALK MEDIAN INFILL OR TOPSOIL WITH TYPE 30 SEED MIX; SEED, FERTILIZER, AND MULCH



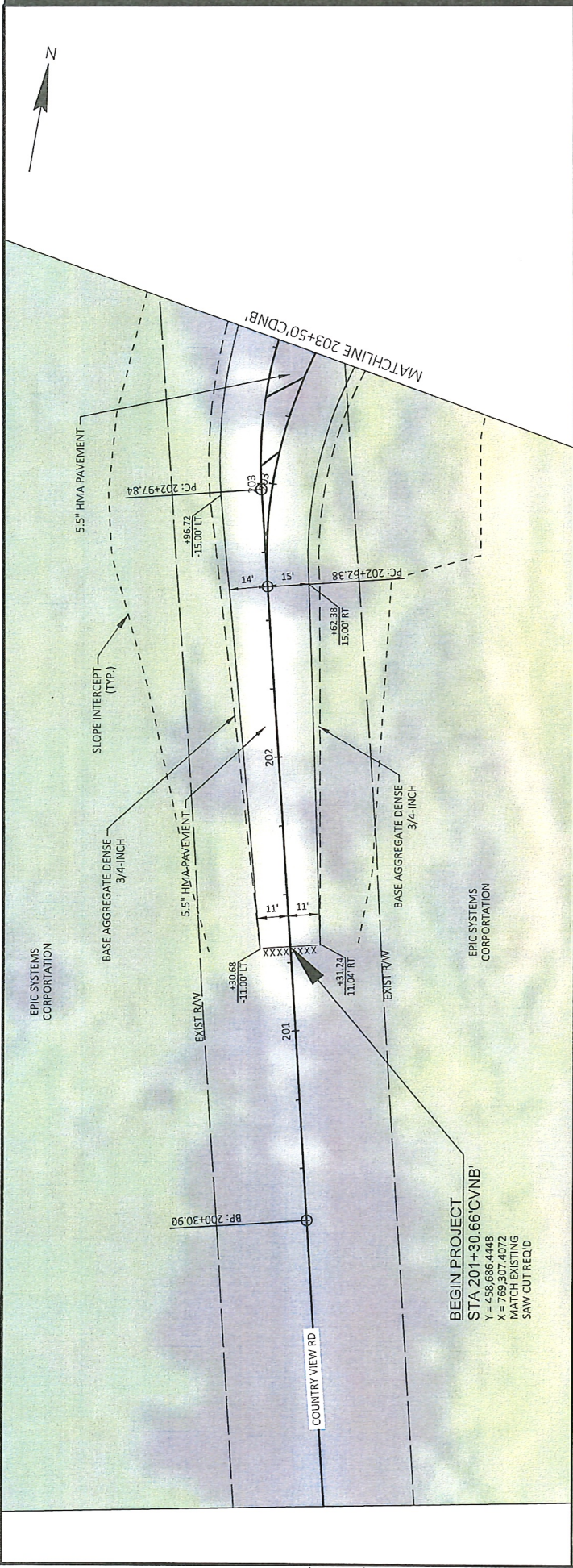
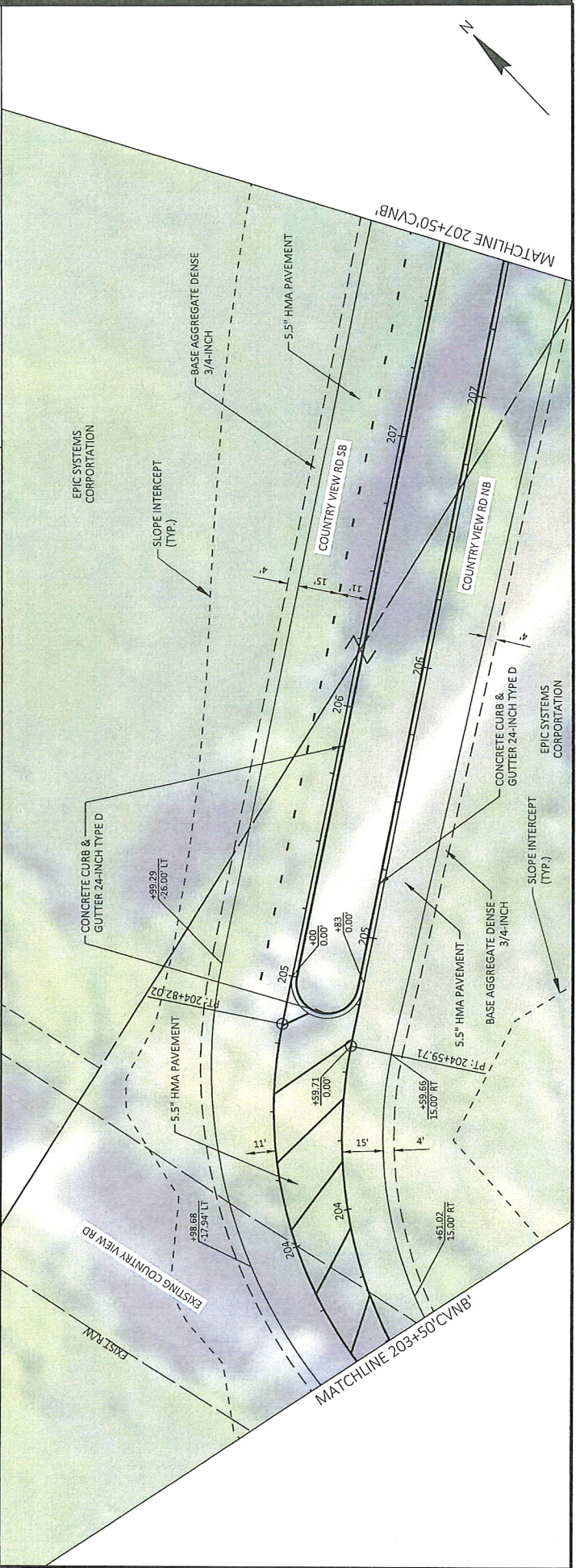




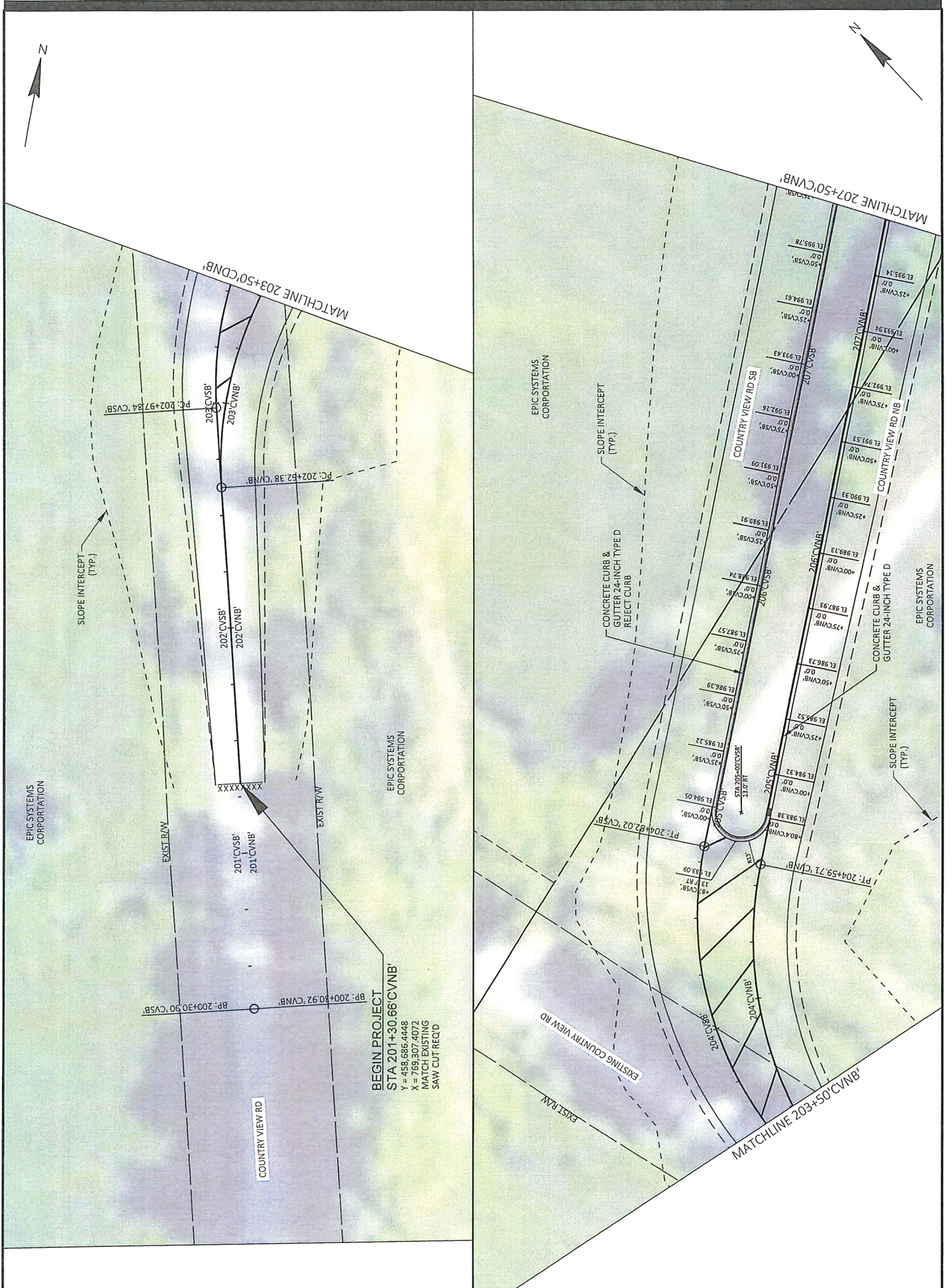
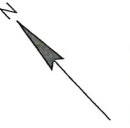
MATCHLINE 207+50(CVNB)

MATCHLINE 203+50(CDNB)

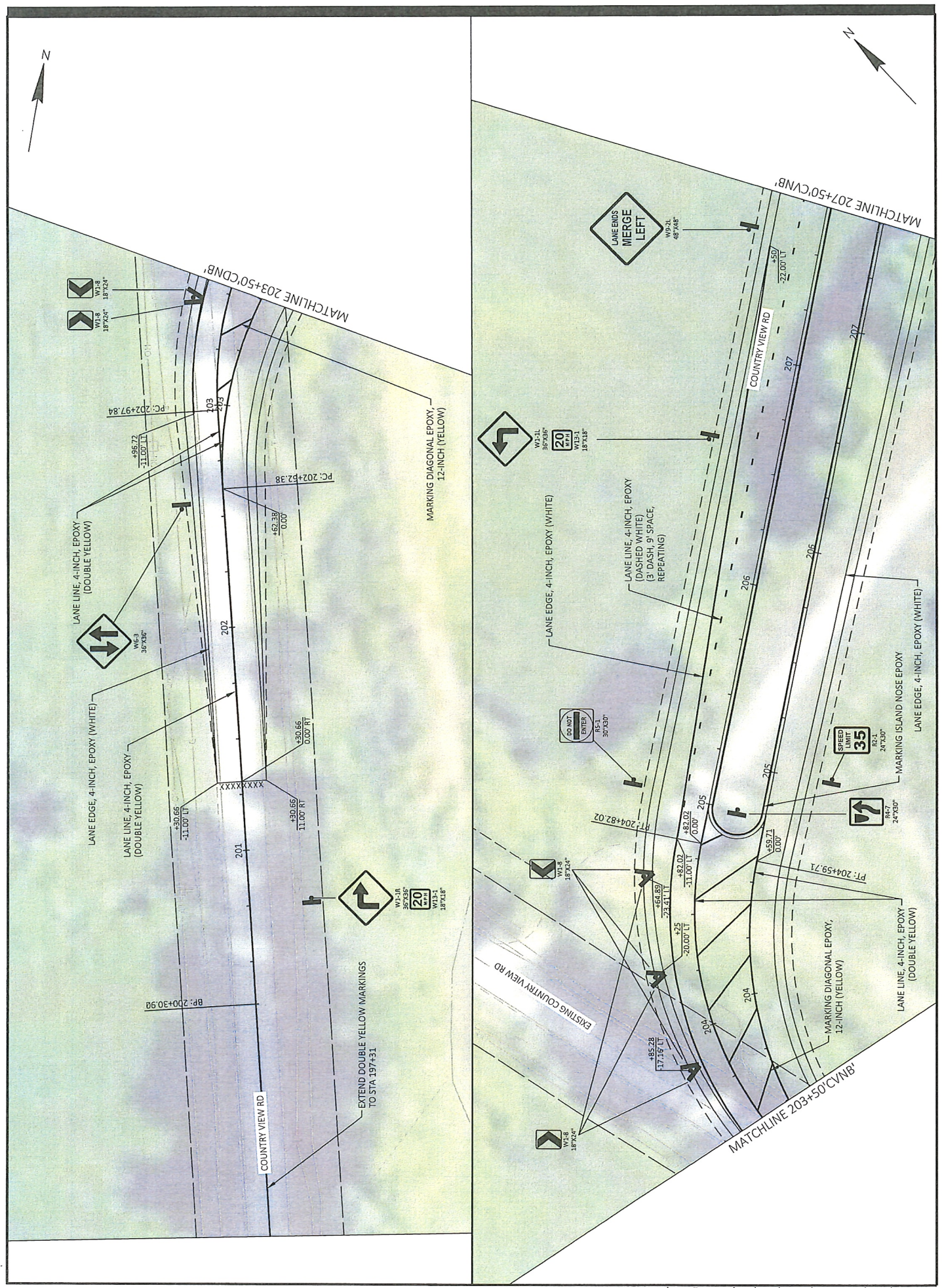
MATCHLINE 203+50(CVNB)

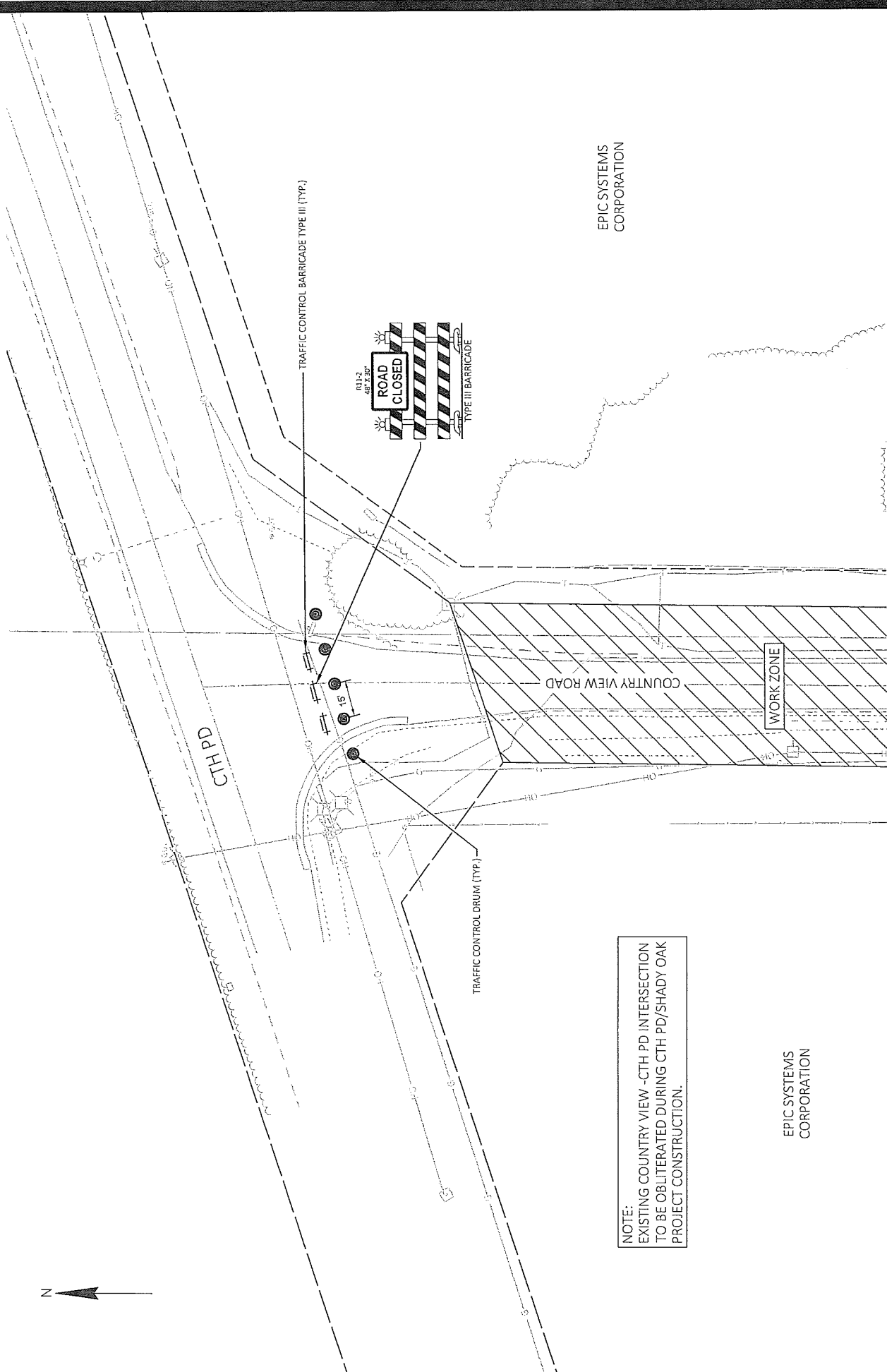


BEGIN PROJECT
STA 201+30.66(CVNB)
 Y = 458.6864448
 X = 783.574072
 MAX. ELEV. = 11.04
 SAW CUT REQ'D



BEGIN PROJECT
 STA 201+30.66'CVNB'
 Y = 458,686.4448
 X = 769,307.4072
 MATCH EXISTING
 SAW CUT REQ'D

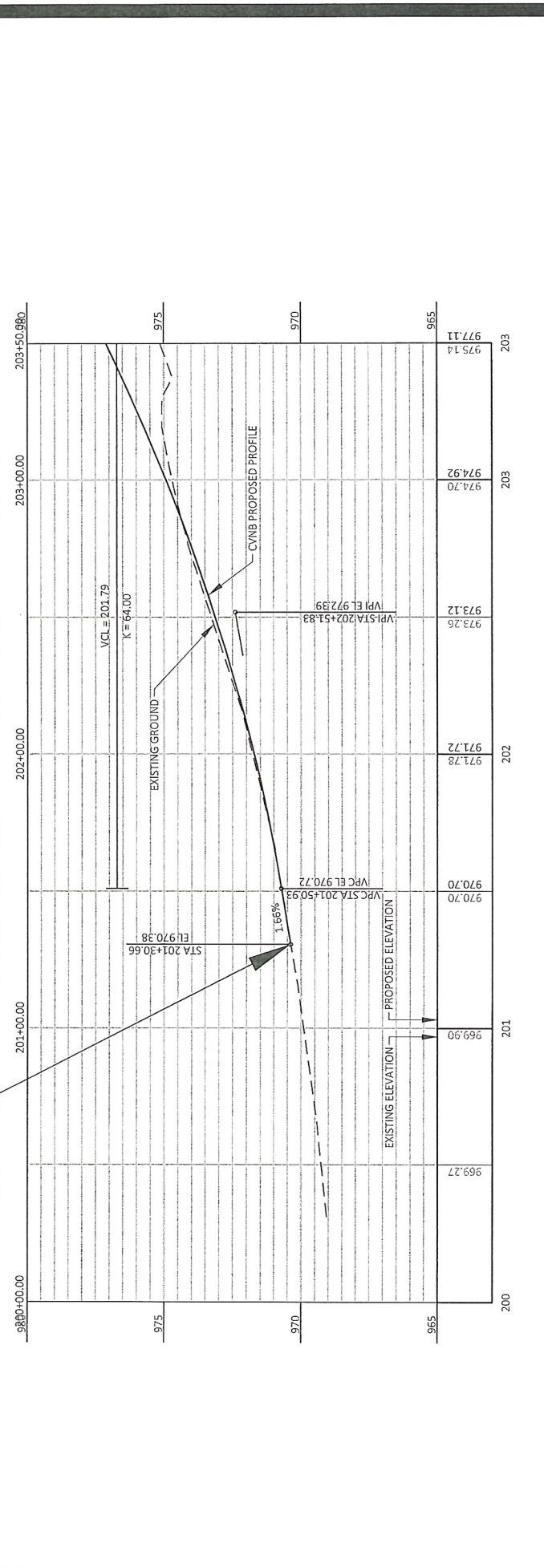
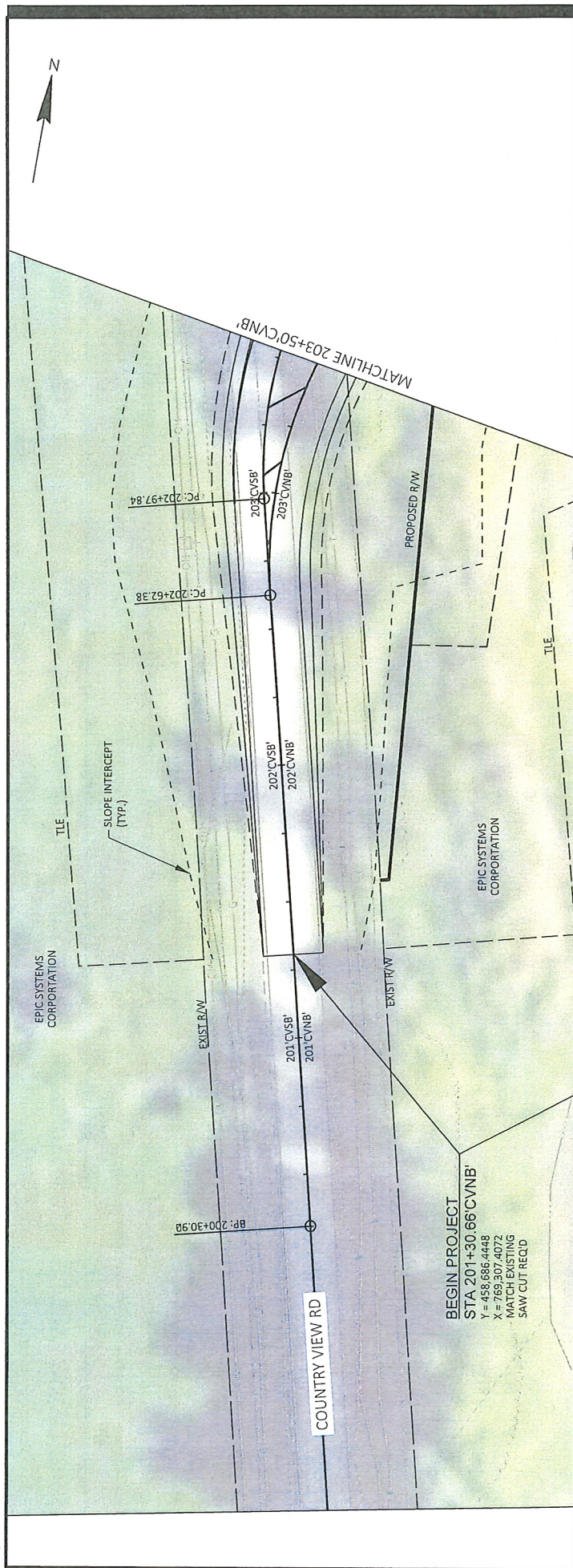


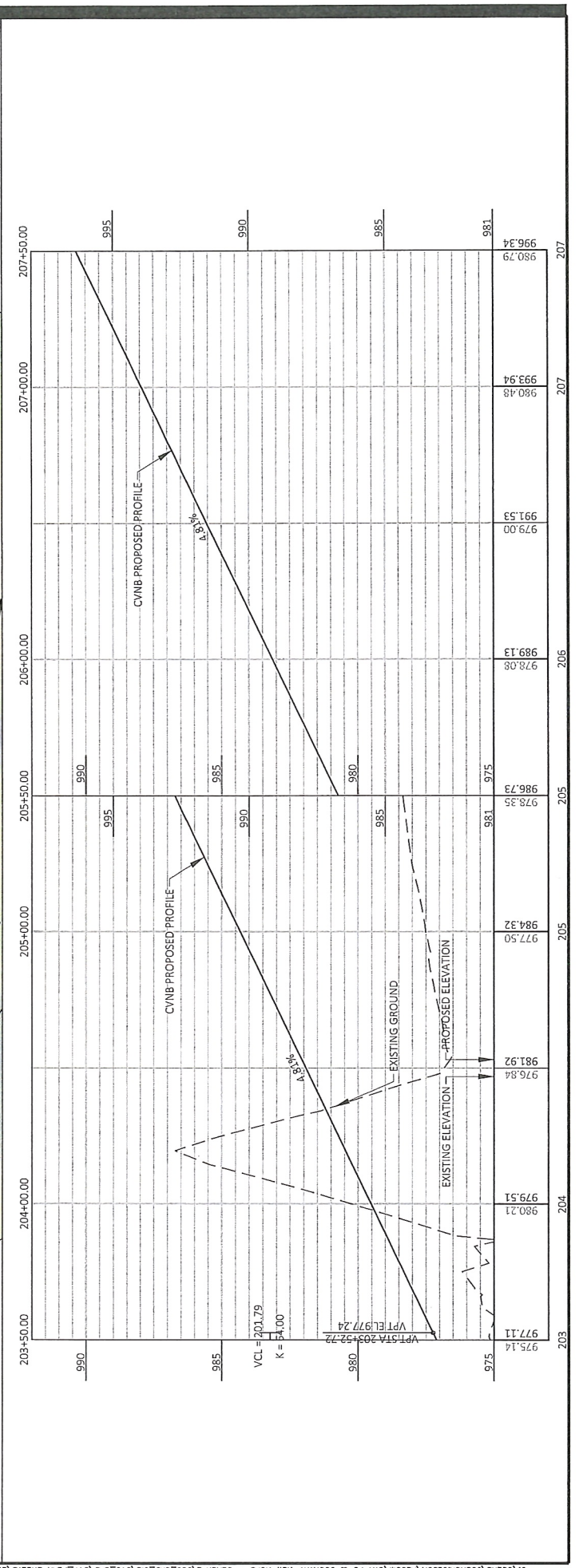
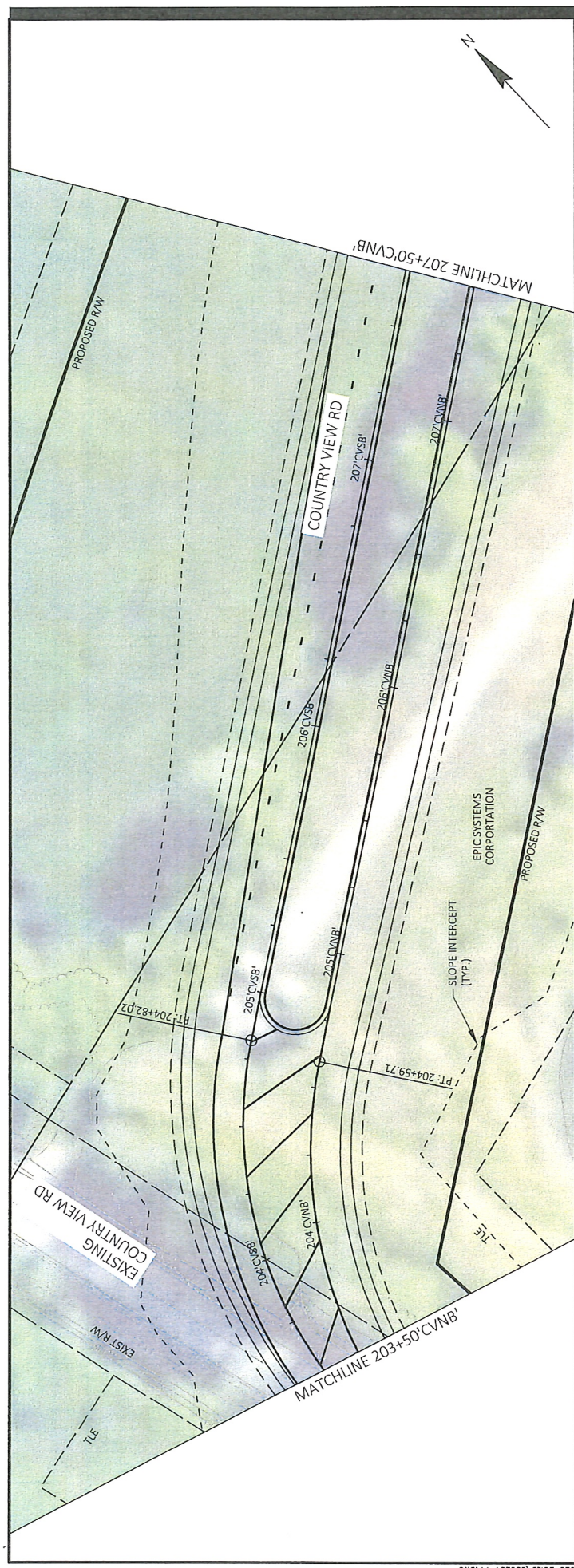


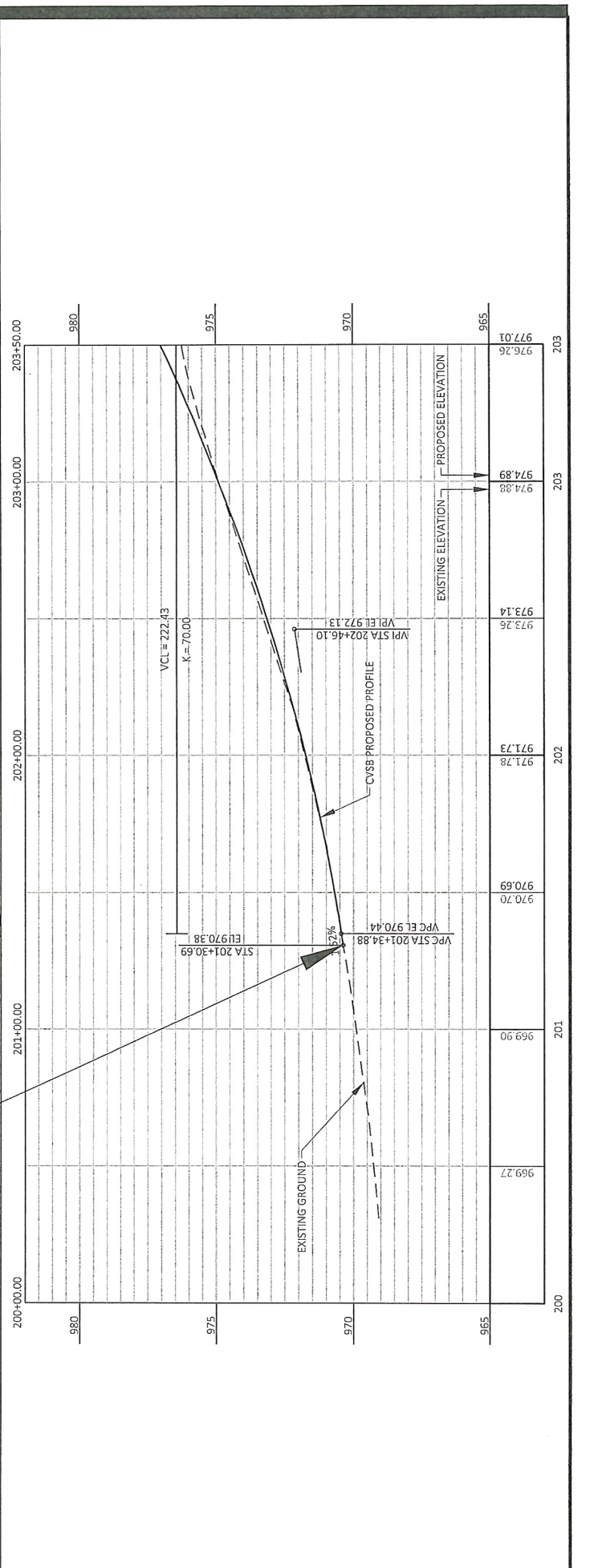
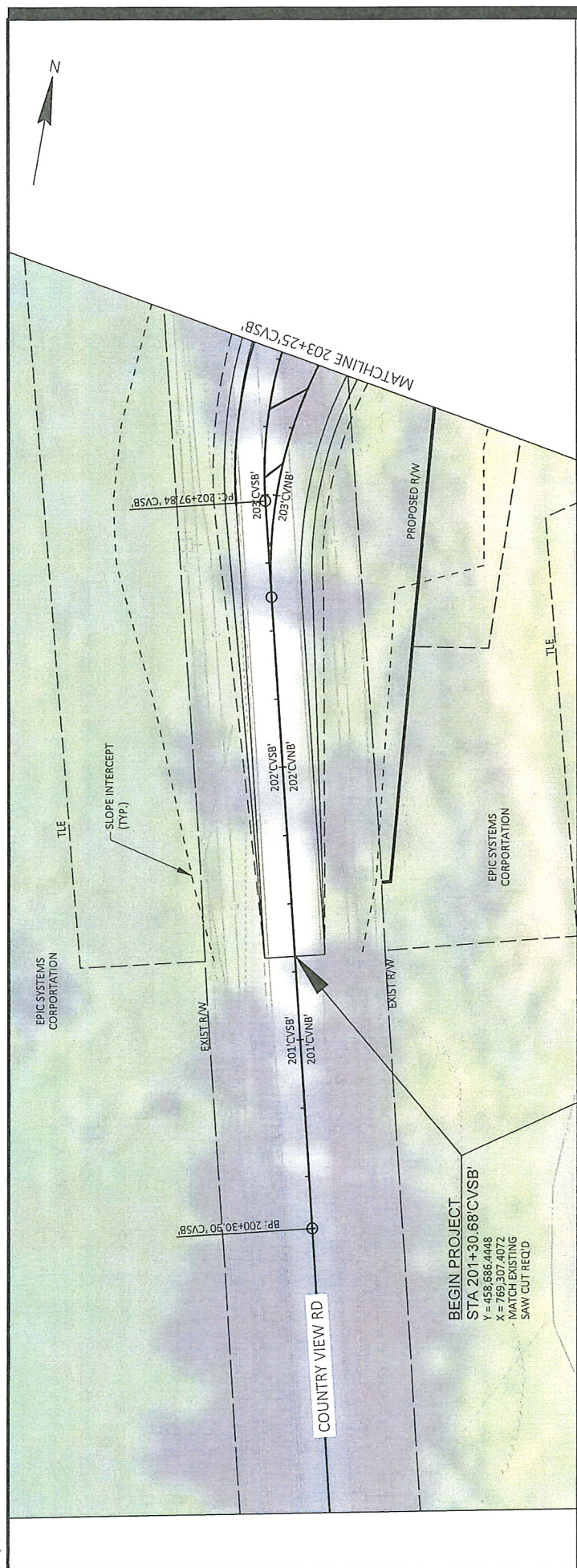
NOTE:
 EXISTING COUNTRY VIEW - CTH PD INTERSECTION
 TO BE OBLITERATED DURING CTH PD/SHADY OAK
 PROJECT CONSTRUCTION.

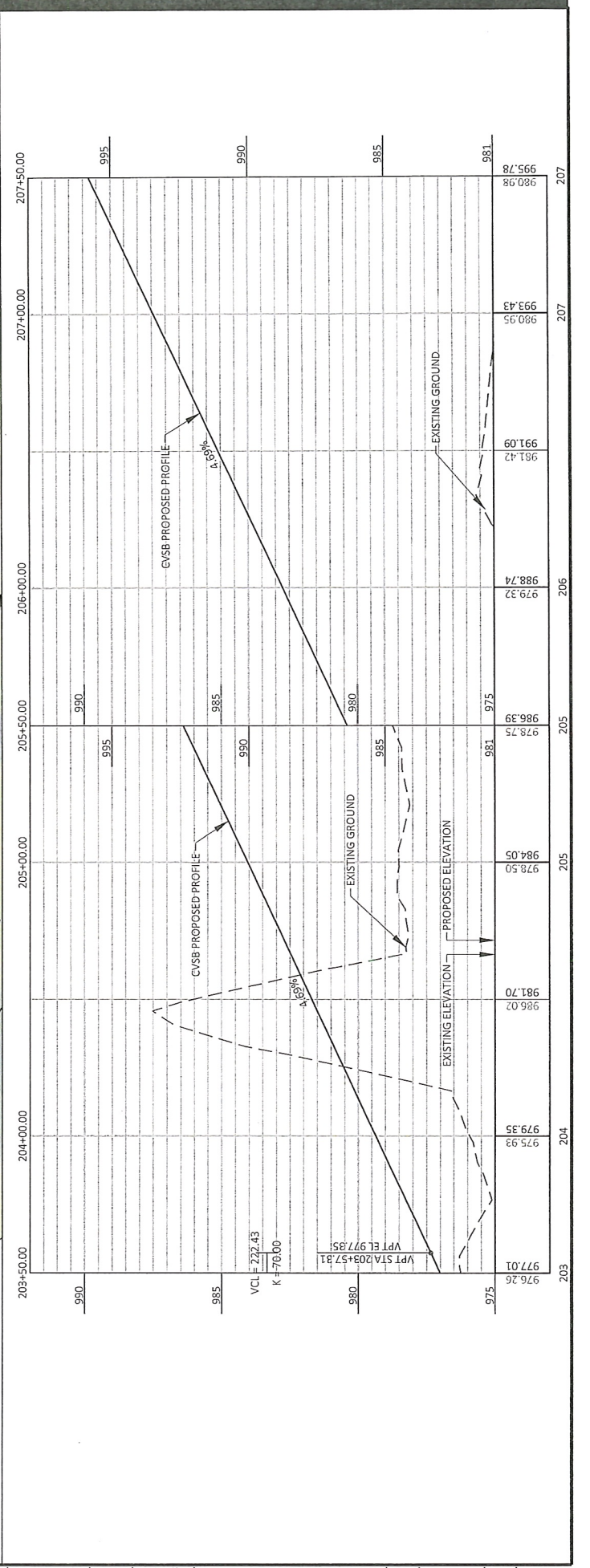
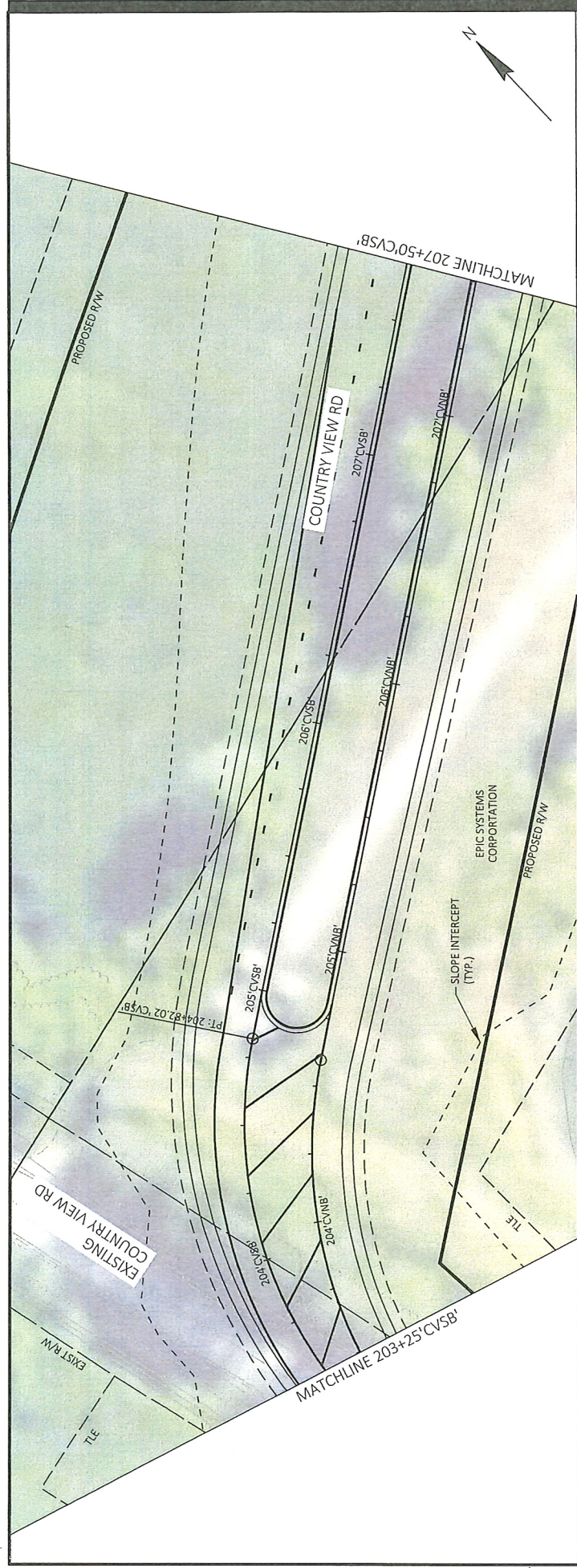
EPIC SYSTEMS
 CORPORATION

EPIC SYSTEMS
 CORPORATION









TOWN OF VERONA

TO: Town Board of Supervisors
Public Works Committee

DATE: April 6, 2023

FROM: W. Christopher Barnes, Public Works Director

SUBJECT: Monthly Report – March 2023

The monthly Public Works Department Activity report is submitted for the information and review of the Board and the Committee. March was an active month with several heavy snow and ice events, temporary pothole patching and brush and tree trimming. Numerous citizen and resident concerns and action requests were received and addressed on a daily basis. If you should have any questions, please let me know.

Road Maintenance Activities

- 3 snow events and heavy snow and freezing rain events.
- Performed various road pothole issues throughout the town road network
- Picked up multiple debris from fly-dumping
- Received final salt delivery for 2023 and placed 2024 salt order.

Equipment and Facility Activities

- Scheduled town build fuel changeover for April 24th. This will require the office heating to be turned off for at least 1 day.
- Repaired the rear spreader unit on the Ford patrol truck
- Made miscellaneous plow and repairs
- Made a pre-blasting inspection the building with SX Blasting prior to any work on County Highway PD

Sanitary Sewer Utility Activities

- Prepared an agreement for the Badger Mill Pump Station 17 Force Main relief project with the Madison Metro Sewerage District (MMSD).
- Reviewed final plans on the Town portion of the Force Main relief project.

Engineering Activities

- Continued working with the City of Fitchburg on the successful WISDOT grant application for Fitchrona Road reconstruction Nesbitt to Lacy. See attached letter.

The project has received a total grant amount of \$2,886,086. Construction is likely 2025.

- Received the 2023 Road Maintenance project bids on March 10th.
- Began coordination for the Valley Road bridge project. Construction to start in May 2023.
- Reviewed the final County Highway PD traffic study and widening plans.
- In conjunction with the City of Fitchburg, requested a cost proposal from the initial consulting engineering firm (AE2S) for final design engineering for the culvert replacement and associated permitting for the Goose Lake/Fitchrona Road storm drainage project. Met with Dane County staff to discuss design options and alternatives. The project has approximately \$150,000 of USEPA grant funding assigned to it.

cc: Sarah Gaskell, Town Planner/Administrator
Mark Judd, Road Patrolman